

Broadbeach Inverloch Design Guidelines

PART A

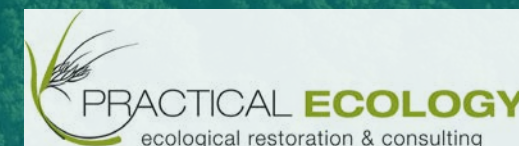
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ASPECT Studios™



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1.0 INTRODUCTION

The Broadbeach Inverloch Design Guidelines document has been prepared by MGS Architects, Aspect Studios and Practical Ecology on behalf of Richmond Property Holdings in order to coordinate the design response across all lots within the site to help achieve a high-quality integrated development outcome. The purpose of this document is to provide clarity regarding the requirements for future development of the site and to satisfy conditions of Planning Permit 160229-3 ('Planning permit') issued by the Bass Coast Shire Council on 12th April 2017 and amended on 22.12.2017, 06.06.2018 & 01.01.2021. It sets out an overall site Master Plan and design guidelines for the entire site, as well as specific descriptions of the character and landscape response required for each of the four precincts within the subject site. The guidelines will assist in guarding against inappropriate development that may detract from the vision for Broadbeach Inverloch.

Part B of these guidelines includes a building envelope diagram for each lot. Building envelope diagrams detail the required setbacks from site boundaries, the permitted location of dwellings and garages and other information relevant to the development of each lot.

2.0 VISION

The vision for Broadbeach Inverloch is of a development that is responsive towards its coastal environment. All lots within the development will provide contemporary, high-quality curated architectural and landscape outcomes that respond to the bushland and landscape qualities of the coastal context.

The recommendations in this guide seek to achieve this by stipulating the approach to the design of buildings and associated landscape.

These are based on guidelines set out under the Victorian Coastal Strategy. This includes the Siting and Design Guidelines for structures of the Victorian coast, which identifies principles including:

- > Durable materials and finishes
- > Structures designed to minimise maintenance
- > The design of structures, outdoor furniture, signs and utilities should be visually coordinated
- > Landscape design should maintain and enhance the coastal landscape character of the area
- > Natural vegetation should be encouraged and extensive planting of indigenous species should occur around developments



Durable low-maintenance materials (Seaview House, Jackson Clements Burrows)



Indigenous planting to building frontages (Sandy Point House, MGS Architects)



Extensive plantings of Indigenous species

2.1 Site Context

The 15.5 hectare site is located at the eastern end of the Inverloch Township, approximately 1.2 kilometres to the south-east of the Bass Highway and sits adjacent to the Anderson's Inlet foreshore.



Inverloch and Anderson Inlet - site in foreground

2.2 Landscape Setting

Broadbeach is located between Little Screw Creek to the north, and Andersons Inlet to the south. The proximity of the site to Andersons Inlet gives it a distinct coastal estuarine landscape character.

Little Screw Creek runs to the Anderson Inlet and is periodically inundated with tidal and storm surge seawater making the northern wetland within the site saline. A significant Coastal Saltmarsh vegetation community is present to the north-east which is an important feeding ground for migratory birds, including the endangered Orange Bellied Parrot.

A dune remnant supporting mature Coastal Dune Scrub extends through the middle of the site, and is set aside as a conservation management zone.

The southern side of the site includes a linear wetland and perimeter landscape interface with the camping area along the foreshore.

The predominant vegetation includes Coast Banksia and Drooping Sheoak, with Sweet Bursaria dominant along the remnant dune.



Northern wetland adjacent to dwellings



Coastal Dune Scrub remnant



Coastal Dune Scrub remnant



Coastal Saltmarsh adjacent to Little Screw Creek



Coastal Saltmarsh (*Sarcocornia perennis*)



Orange Bellied Parrot



Little Screw Creek boardwalk



Coast Banksia



Drooping Sheoak



Sweet Bursaria

2.3 Site Master Plan

The site Master Plan provides a balanced development response to the existing context, sensitively integrating the residential areas with the existing non-residential uses at the gateway to the site and the surrounding landscape context. The Master Plan has been developed in consultation with the Bass Coast Shire Council and a team of expert consultants including Architects and Landscape Architects, Ecologists, Civil and Services Engineers. Hydrologists and Archeologists.

The roads and laneways indicated in the plan will provide an informal and relaxed streetscape character, with a strong presence of landscape providing the dominant character within the road reserve. More detailed descriptions of the landscape character is provided in the landscape Master Plan, overleaf.

Front fences to main streets should be avoided and the front yard character should extend on the provided landscape character of the street. Where lots are provided with laneway and street frontages, the garage entry should address the laneway frontage.

Residential Precincts

The Master Plan divides the site into four clearly defined precincts which all have individual neighbourhood characters that respond to their location and context. These are:

- > the 'Neighbourhood Precinct', which surrounds the existing and proposed community facilities at the site's western entrance;
- > the 'Coastal Precinct' to the south and along the site's foreshore interface;
- > the 'Tea Tree Precinct' in the east of the site; and
- > the 'Wetland Precinct', located along the site's northern interface with the Little Screw Creek environs.

Developer Works

At Broadbeach Inverloch, services including electricity, water, gas, sewer lines, communication and street lighting will be provided to each lot. Concrete crossings from paved streets to most lot frontages and some fencing will be provided by the developer.

- Coastal Precinct
- Neighbourhood Precinct
- Tea Tree Precinct
- Wetland Precinct
- Building exclusion zone
- Existing building
- Street or rear lane



2.4 Landscape Master Plan

The landscape across the site shall have a distinct coastal character with casual low maintenance indigenous plantings of low cover plants, shrubs, and trees.

The site includes common areas and private lots. The landscape to both should be sensitive to the coastal character of the area. Plantings to both common and private areas shall be informally arranged and incorporate local indigenous species.

Street trees and plantings to the common areas will create the basis for the informal indigenous landscape. These will incorporate species from the common area planting palette.

The general design guidelines for both common and private landscapes emphasises the following principles:

- > Informal street planting and garden treatments
- > Low-maintenance, water-efficient gardens using predominantly local indigenous vegetation
- > Integration between streetscape planting and private open space at the front of dwellings
- > Minimal use of solid paved areas to maintain the existing site permeability
- > Hardscape materials used within the landscape shall be of a natural and durable quality

Hardy indigenous species shall be used which may not require intensive irrigation. High-efficiency sub soil drip irrigation may however be employed at the discretion of the Owners Corporation and private lot owners.



Landscape Master Plan

---	TITLE BOUNDARY	---	PROPOSED FUTURE CONNECTION TO SCREW CREEK NATURE WALK	---	LAWN
---	LOT BOUNDARY	---	POTENTIAL BRIDGE LINK ACROSS SOUTHERN WETLAND	---	REMOVABLE BOLLARD
---	COMMON AREA LANDSCAPE	---	EXISTING SANDSTONE UNIT PAVEMENT	---	EXISTING POLE TO LIGHTS
---	PRIVATE LOTS LANDSCAPE	---	PROPOSED EXPOSED AGGREGATED CONCRETE PATH TO MATCH EXISTING	---	VEHICULAR EGRESS GATE
---	EXISTING BUILDING	---	EXISTING EXPOSED AGGREGATED CONCRETE PEDESTRIAN PATH	---	PEDESTRIAN EGRESS GATE
---	EXISTING EXPOSED AGGREGATED INSITU CONCRETE VEHICULAR PAVEMENT	---	EXISTING TREE TO BE RETAINED AND PROTECTED	---	EPHEMERAL WETLAND PLANTING
---	PROPOSED EXPOSED AGGREGATED INSITU CONCRETE VEHICULAR PAVEMENT TO MATCH EXISTING	---	EXISTING TREE REMOVED	---	2.5m WIDE MAINTENANCE ACCESS ZONE WITH LOW COVER PLANTING AND NO TREES OR SHRUBS
---	PROPOSED WASTE COLLECTION ZONE (EXPOSED AGGREGATED INSITU CONCRETE VEHICULAR PAVEMENT TO MATCH EXISTING)	---	EXISTING VEGETATION TO BE RETAINED AND PROTECTION	---	BAL 19 DEFENDABLE SPACE OUTER ZONE
---	EXISTING TIMBER DECK	---	EXISTING VEGETATION REMOVED	---	BAL 19 DEFENDABLE SPACE INNER ZONE
---	EXISTING INSITU CONCRETE PEDESTRIAN PAVEMENT WITH LIGHT BROOM FINISH	---	PROPOSED LARGE TREE	---	BAL 13 DEFENDABLE SPACE OUTER ZONE
---	PROPOSED GRAVEL VEHICULAR ROAD	---	PROPOSED SMALL TREE / SHRUB	---	BAL 13 DEFENDABLE SPACE INNER ZONE
---	PROPOSED GRANITIC SAND PEDESTRIAN PATH	---	EXISTING SIGNIFICANT DUNE SCRUB TO BE RETAINED AND PROTECTED	---	
		---	EXISTING SALT MARSH PROTECTION AND REHABILITATION ZONE	---	
		---	WATER BODY	---	

2.5 Common Area Landscape Zones

The landscape to the common areas is provided as part of the trunk infrastructure, and managed by the Owners Corporation. This landscape includes the following areas:

- > Entry Landscape from Lindsey Close
- > Community Centre Landscape
- > Feature Open Space
- > Beach Link Landscape
- > Dune Conservation Zone
- > Dune Management Zone
- > Salt Marsh Rehabilitation Zone
- > Wetlands
- > Street Landscape

2.6 Residential Precinct Landscapes

Soft Landscape

The soft landscape within each precinct will have a different dominant tree species that responds to the ecological vegetation communities that would have existed on site prior to European settlement.

The planting also responds to the bushfire management imperatives as setout in the CFA's Landscaping for Bushfire - Garden Design and Plant Selection:

http://www.cfa.vic.gov.au/fm_files/attachments/plan_and_prepare/landscaping/landscaping_for_bushfire.pdf

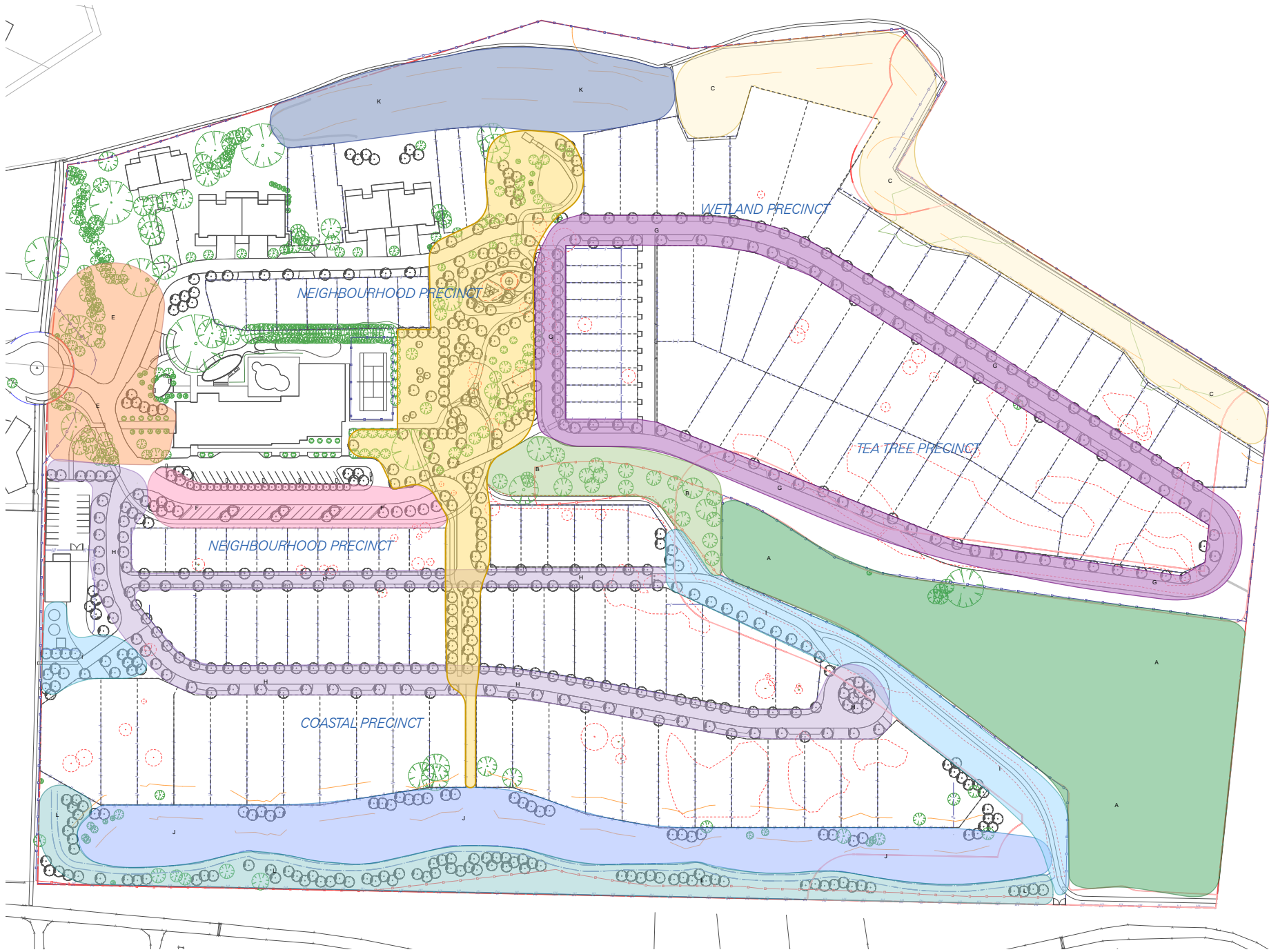
Detailed descriptions of hard and soft landscape elements to the private lot gardens are provided in the following sections.

Precincts

The private lots are divided into four distinct residential precincts, each having a subtly different landscape character due to the building types that are included, and the topography and proximity of their setting to the site's features:

- > Coastal Precinct
- > Tea Tree Precinct
- > Neighbourhood Precinct
- > Wetland Precinct

The dominant tree species and signature understory species will be provided for each precinct.



Common Area Landscape Zones and Private Lots to Precincts

A	Dune Conservation Zone
B	Dune Management Zone
C	Salt Marsh Management Zone
D	Open Space Planting Zone
E	Entry Augmentation Planting Zone
F	Townhouse Streetscape Planting Zone
G	Tea Tree Streetscape Planting Zone
H	Banksia Streetscape Planting Zone
I	Beach Link Planting Zone
J	Southern Wetland Planting Zone
K	Northern Wetland Planting Zone
L	Southern Buffer Planting Zone

3.0 DESIGN REVIEW AND APPROVAL PROCESS

3.1 Design Review Panel

All development must undergo a Design Review Process by the Design Review Panel (DRP). This panel is appointed by MGS Architects and will include appropriate architectural expertise. The purpose of the DRP is to ensure that all proposed building and landscape plans meet the design standards set out in the Design Guidelines prior to seeking a building permit. The DRP will issue the approval of all compliant designs and, if submissions do not comply with the Design Guidelines, will require adjustments to establish high-quality and compliant design outcomes.

The following key points will be considered under the Design Review Process:

- > Building Design
- > Building Siting and Orientation
- > Building Interfaces, Garages and Outbuildings
- > Building Materials and Colour Palette
- > Landscape Principles for Private Lots
- > Soft and Hard Landscape Design Principles
- > Fencing

3.2 The Planning Permit and Section 173 Agreement

Lot owners are responsible for ensuring all requirements of the Bass Coast Planning Scheme, the Planning Permit and any Section 173 Agreement registered on the title to their lot are met. Therefore before design commences lot owners should become familiar with these documents. The DRP is not responsible for reviewing the compliance of any given lot before lot owners apply for a building permit.

Authority Approvals

It is the applicant’s responsibility to ensure that all submitted design documentation meets approval by all necessary authorities.

3.3 The Approval Process

The approval process sets out important steps for designing and / or building an approved dwelling at Broadbeach Inverloch. The first step is to choose a lot in one of the four precincts that will suit the type of dwelling you wish to occupy.

It is essential that both the landowner and the designer/builder/architect are familiar with the Design Approval Process and this document before any work commences. Once the design is finalised, a set of detailed design and landscape plans (As per the requirements outlined in 3.4) must be submitted to the DRP for approval. Once the DRP has approved the design, a letter of approval will be issued. Before development of the dwelling commences, the DRP approved dwelling plans (Including any associated documentation, if applicable) must be submitted to the Responsible Authority for endorsement under Condition 7 of the Planning Permit (160229). Once endorsed, a building permit application can be made.

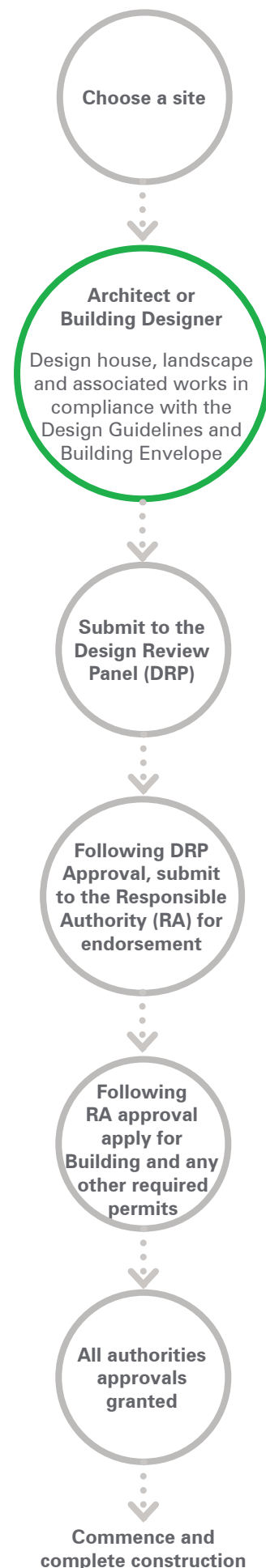


Figure 1.1 The Approval Process Diagram highlighting major steps

3.4 Submission Requirements

All designs must be approved by the DRP before obtaining building permits. All plans and other relevant documents must be submitted via the Approved Process. A processing fee is payable concurrent with lodgement of documents. The submission must include the fee and the following as a minimum:

Site plan, scale 1:200

Demonstrating the compliance with these Design Guidelines (including building envelope), the setback of all buildings from the property boundaries, the location of all proposed windows, the location of car parking and storage areas, the locations of buildings and windows on adjoining sites (where applicable) and the location of trees. North point, scale bar and legend are required.

Floor plans at each level, scale 1:100

Demonstrating the compliance with these Design Guidelines, with dimensions and property boundary setbacks, indicating the internal layout of the dwelling, location of garage, outbuildings and any plant and equipment, the location and size of all windows and doors and the plot ratio and % site coverage. Soft and hard (i.e. decking, pavement etc.) landscape design should be shown on the plan with accompanying annotations. North point, scale bar, legend and floor level are required on all floor plans.

Roof plans, scale 1:100

With dimensions indicating the type, shape and material of the roof, draining and plant equipment i.e. air conditioning units, aerals etc. North point, scale bar and legend are required.

Landscape plan, scale 1:100

Showing property boundaries, the arrangement of hard and soft landscape elements including fences, hard pavements, driveway layouts, tree, shrub and low cover planting and lawn. The landscape plan should also include any structures such as decks, pergolas, retaining walls and rock work. Plant Species must be nominated and materials must be clearly labelled. North point, scale bar and legend are required.

Elevation drawings, scale 1:100

Of all four sides of the dwelling with dimensions (including heights), property boundary setbacks and finished floor levels of dwellings and garage. The drawings must clearly show the colours and materials proposed. Scale bar and legend are required.

Cross sections, scale 1:100

At least two cross section showing floor levels (with AHD heights nominated), ceiling heights, external decking and relationship with both natural and built up ground levels.

Colour and materials palette

Showing the actual external colours and materials to be used, and names for each product must be provided. This can be a scanned or photographed image provided that this is an accurate representation of the colour and material finish.

Overshadowing

Shadow Diagrams at 1:100 scale for September 22 at 9am, 11am, 1pm and 3pm together with a statement confirming that the design complies with Clause 55.04-5 Overshadowing open space objective Standard A14 of the Bass Coast Planning Scheme.

Overlooking

A statement confirming that there are no direct views from within the proposed dwelling into any habitable room window (within a horizontal distance of 9 metres) of an existing dwelling. If windows are proposed within 9m they must be screened to comply with Standard A15 of Clause 54.04-6 of the Bass Coast Planning Scheme.

4.0 DESIGN GUIDELINES - GENERAL

This section outlines the design guidelines for future development within Broadbeach Inverloch, providing guidance on built form, streetscape character and access for the area. It defines overarching guidelines before addressing detailed and specific guidelines for each of the four precincts. The objectives and standards of Clause 54 of the Bass Coast Planning Scheme (ResCode) and the building regulations apply as a default condition with exceptions and deviations specifically described in this section. Specific building envelopes will be described in Part B of the Design Guidelines.

4.1 Guidelines Overview Plan

This plan provides an overview of the buildable area in each lot, for each of the four precincts.
Part B of these Design Guidelines gives specific detail of Building Envelope and landscape requirements for each lot.



4.2 Building Design

Dwelling typology

The typology of dwelling is dependent on the lot size and precinct. Single detached houses predominate for the Coastal, Tea Tree and Wetland Precincts, with townhouses restricted to the Neighbourhood Precinct. Only one dwelling is permitted per house lot. Subdivision is not permitted.

Building design

The preferred building character is lightweight, airy and open, with buildings often elevated above the adjacent landscape, especially in the Coastal and Wetland Precincts. Bulky massing and heavy materials should be limited to elements such as fireplaces and feature walls. Reproduction historical styles are to be avoided. All external cladding must be non-reflective and coloured in muted tones. Many lots have been built up with engineered fill material and an appropriate footing solution is required.

Roof design

Low roof profiles are preferred, with deep eaves to control solar access and create shadow. Flat roofs or simple gable or skillion roof forms are preferred. Unnecessary decoration or multiple hips and valleys are discouraged. Lightweight roof cladding is preferable and must be of a non-reflective nature, coloured in muted shades.

External structures

Where possible, elements such as garden walls, verandahs and pergolas should be incorporated into the overall design to create depth and interest and avoid the appearance of mass. Such elements can also create shelter, define semi-private outdoor spaces and control solar access. These elements should be an integral part of the overall design.

Façades and interfaces

Articulation is required to ensure that each dwelling is integrated into its landscape context. Long lengths of blank walls should be avoided. Articulation in plan and elevation is encouraged.

Environmentally Sustainable Development (ESD)

Broadbeach Inverloch encourages sustainable development strategies to minimise environmental impacts. These include both passive and active initiatives that optimise the use of materials, reduce embedded energy, improve thermal performance and lower ongoing running costs. Some examples include:

- > Orienting the building for solar access
- > Designing for cross-ventilation
- > Selection of glass and insulating materials with very good thermal performance
- > Selection of building materials with low embedded energy
- > Selection of energy efficient lighting and appliances
- > Choosing ceiling fans in lieu of air-conditioning
- > Efficient water management systems such as drip irrigation and grey water recycling
- > Choosing a solar boosted hot water system
- > Installation of solar photovoltaic (PV) panels

Hamstead Beach House (Hayhurst and Co)



Sorrento House (NMBW Architecture Studio)



Examples of lightweight, coastal houses built on piles and using natural materials



4.3 Building Siting and Orientation

Building setbacks

Specific setbacks have been determined for each precinct, responding to the specific context and intended character. Some lots vary from the standard due to individual characteristics which will be noted. Typical setbacks for each precinct can be found in 4.0 Precinct Design Guidelines.

Building envelope diagrams

Part B of these Design Guidelines has a Building Envelope Diagram for each lot. These diagrams show the setbacks required from Lot Boundaries and the location where dwellings, decks, garages and driveways may be built. They also show areas for landscaping and any building exclusion zones. In most circumstances, these Building Envelope Diagrams must be complied with.

Building height

All dwellings, with the exception of Lots 131 & 132, have a maximum height of 8.0 metres above the minimum habitable finished floor level of 3.36 metres AHD (Australian Height Datum) Lots 131 & 132 have a maximum height of 5.5 metres above the minimum habitable finished floor level of 3.36 metres AHD. All garages have a maximum height of 4.2 metres above the minimum finished floor level of 3.06 metres AHD.

Site coverage

All buildings including the dwelling, garage and any outbuildings are limited to a maximum site coverage of 60%.

Permeability

For the Coastal, Tea Tree and Wetland Precincts, at least 30% of the site should not be covered by impervious surfaces. For the Neighbourhood Precinct, at least 20% of the site should not be covered by impervious surfaces (as per ResCode provisions). Impervious surfaces include the dwelling, garage, any outbuildings, paved footpaths and driveways and any sealed areas. Pervious surfaces can absorb water, such as garden beds and unsealed surfaces, which helps assist the dispersal of water during storm events.

Orientation

Buildings are to be oriented to the north to achieve maximum passive solar access. Living areas and private outdoor open spaces should face northwards where possible. On some lots this may require orienting living and private outdoor spaces towards the street interface. This is acceptable, however the design response should ensure that the landscape and fencing is configured to allow for an acceptable level of amenity in the private space.

Overshadowing

Overshadowing of the private open space and north-facing windows of adjacent properties should be minimised consistent with ResCode requirements. Applicants must submit shadow diagrams for September 22 at 9am, 11am, 1pm and 3pm.

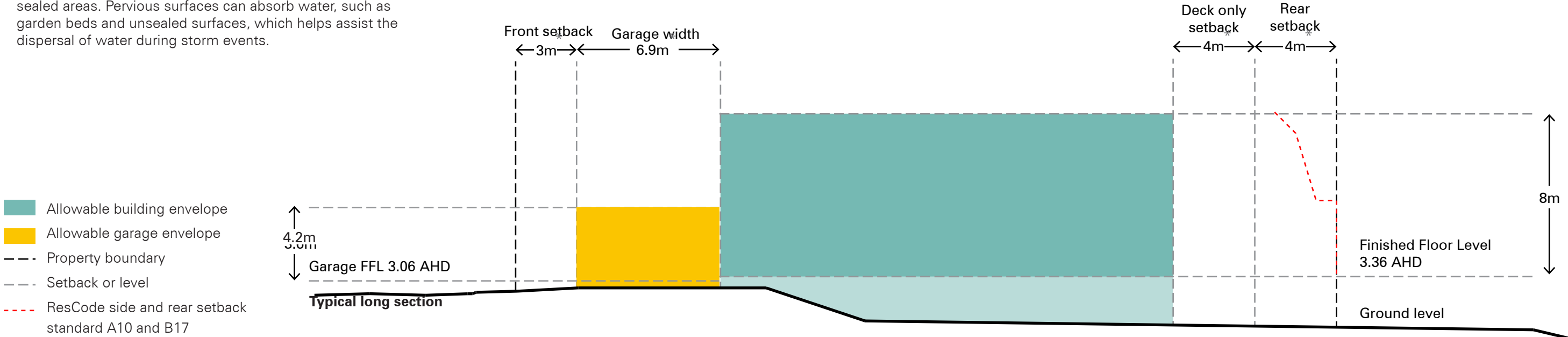
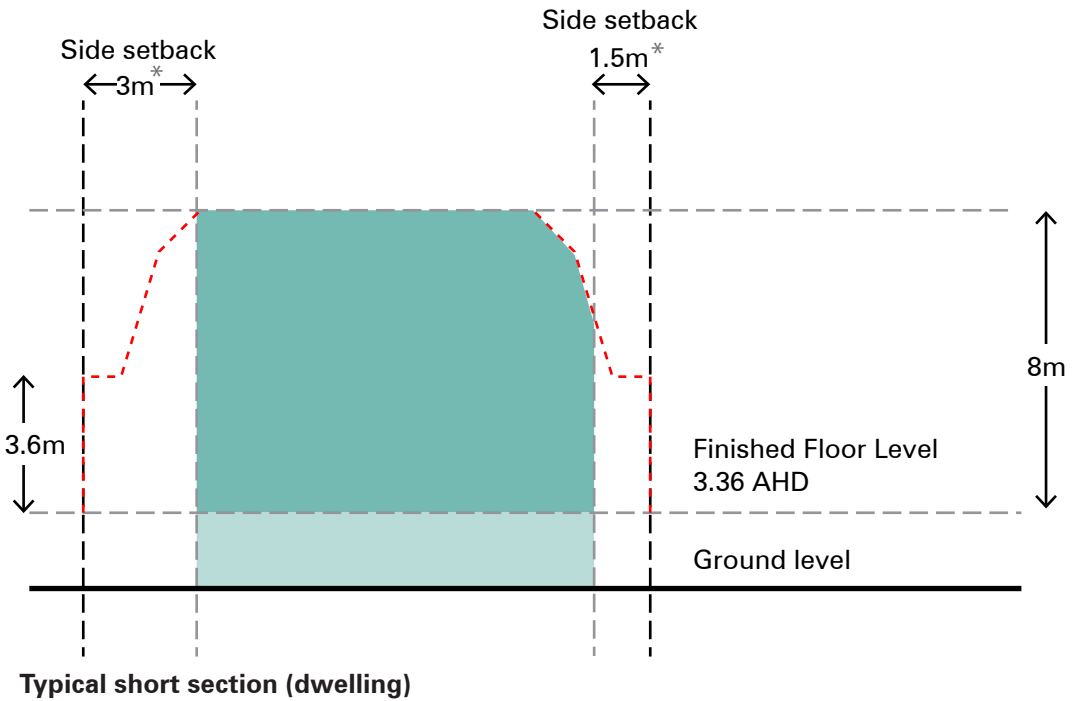
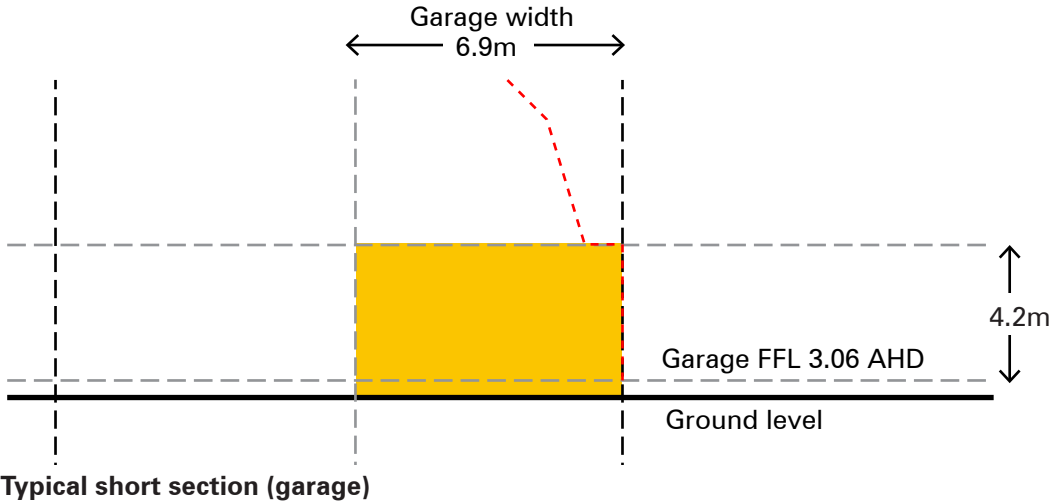
Overlooking

Overlooking to the indoor and outdoor living areas of adjacent properties should be minimised. Roof decks and elevated balconies and terraces are permitted, however these should be located with a view oriented towards public areas, with screening to avoid excessive overlooking of adjoining private open space.

Private open space

An area of secluded private open space must be provided that is directly accessible from the living areas of the dwelling. Open space should be located to maximise opportunities for solar access, preferably by being located on the northern side of the dwelling. Private open space may be provided through a combination of terraces, decks or yards.

* NOTE: The sections shown do not refer to the setbacks of any particular site. Heights and setbacks may vary between lots. Please refer to the tables in chapter 5.0 Precinct Design Guidelines for lot specific setbacks and the Building Envelope Diagrams document.



4.4 Building Interfaces, Storage, Garages and Outbuildings

Street frontages

Façades facing the street must address the street, with entries, balconies and habitable room windows aiding passive surveillance and improving the visual character of the street.

Corner sites

In the case of corner sites, dwellings must address both streets with habitable room windows and/or entries, balconies and other activated features. Blank walls and service windows to these frontages should be avoided.

Pedestrian access

Primary pedestrian access to each site should be from the main street. A well defined building entry should be provided, with pathway access from the driveway.

Vehicular access and car parking

The developer will provide each lot with a shared vehicle crossing. Generally these crossings will be designed to service two adjacent lots in order to minimise the impact on the streetscape. Driveways from these crossings shall be designed to neatly integrate at the same level. Vehicles should be accommodated on each site in a garage. The parking location must be screened from view from the street. Where a rear lane is provided, vehicular access must be from the laneway.

Garage massing

Garages should be freestanding from the dwelling where possible and sited in accordance with the Building Envelope for the lot.

Garage doors

The garage doors of garages on main streets should not be directly visible from the street, with access from the side only. Garage doors that may be visible from a main street include Lots 9,10,19-26 and 107. Panel lift doors in a finish that complements the garage and dwelling are preferred and roller doors prohibited. Pedestrian doors to garages must not open inward to garage.

Storage

All dwellings are to be provided with a minimum of six cubic metres of accessible, secure storage that is not within the car parking areas of garages. The storage space should be clearly indicated on the plans submitted to the DRP.

Boat storage

Boats and caravans must be concealed from view from the street. Boats should be located behind the garage. If it is not possible to locate the boat behind the garage, it must be screened by a fence. The ground surface treatment in the

boat parking location should differ from the main driveway surface material.

Outbuildings

All storage should be contained within the garage or dwelling. Small sheds will only be permitted when not visible from common areas and must be complementary to the dwelling design. Approval must be sought from the Owners Corporation for any structures proposed after the dwelling has been completed.

Swimming pools

Other permanent features such as swimming pools must be concealed from the street. Vegetation and screening should be considered to reduce visual impacts on adjoining properties.

External fixtures

External fixtures such as hot water systems, rainwater tanks, clothes lines, antennae and mechanical plant such as air-conditioning should be co-located where possible, concealed from street view, screened to be minimally visible from adjacent properties and integrated into the design of the dwelling. External pipes other than downpipes must be concealed from view.

Waste management

Rubbish bins must be stored in a area out of public view, preferably within the garage.

Garage facade treatment

Garages must meet the roof profile of their neighbour



Adjoining garages should be read as two distinct structures to break up mass. Material selections are encouraged to be different

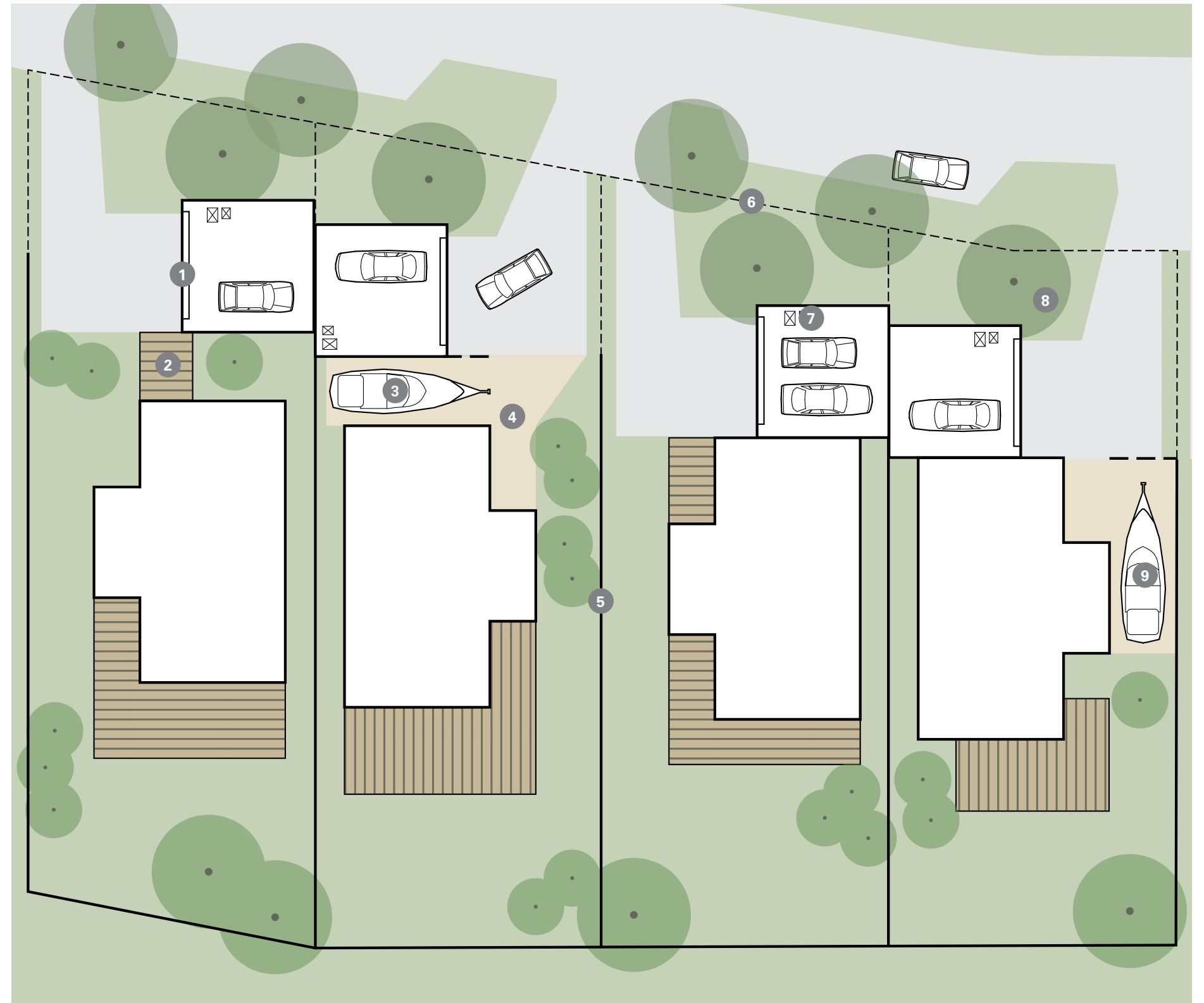


The location of any windows must be sympathetic to that of their neighbour



Example arrangement (Coastal Precinct)

1. Generally garage doors must not be directly visible from the street, except lots noted in section 4.4.
2. It is preferable that garages be separate from the house. In this example, access to the house is provided by a bridge.
3. Boats must be completely screened from the street. The preferred boat storage location behind garage.
4. The paving treatment of boat storage area should differ from driveway surface treatment.
5. Three-metre wide setbacks on each lot allow for a green corridor and allow for view lines between the buildings.
6. Front yards must not have a front fence (except in the Neighbourhood Precinct). The landscape treatment should blend between the common areas and the private lots.
7. Garbage bins must be stored inside the garage or in another dedicated storage location not visible from the street.
8. If boat access requirements require the removal of street trees, a replacement tree of the same species must be planted in the front yard.
9. Boats must be screened from the street. If they can not be located behind the garage they can be stored in a dedicated area adjacent to the house that is screened behind a gate or fence.



4.5 Building Materials and Colour Palette

Overview

The material palette used for all buildings within the Broadbeach development must complement the preferred future character of each precinct, responding to the coastal environment and existing landscape context.

A muted palette of colours in materials with preferably natural finishes will promote an integrated look across the development. Lightweight materials such as timber and weatherboards must be used as the main material for external finishes.

The use of small proportions of highlight elements can be used to create contrast and interest across the façades as part of a considered design response. A mix of contrasting heavier masonry elements is permitted within the lighter main material selection, with points of interest such as a main entry or design feature highlighted with colour or texture.

NOTE : This materials palette is to be read as a guide only and all final material choices are to be reviewed by a design review panel before approval.

Design Principles

1. Use of materials with a natural finish
2. Introducing a muted palette to ensure the dwellings fit harmoniously within the landscape, whilst also allowing for moments of interest and highlight
3. Encourage contrast through the use of colour and texture and lightweight and masonry elements
4. Allow for variation across the site, whilst also ensuring a visual harmony amongst the precincts

Context images



Colour palette

Muted tones that match the landscape context

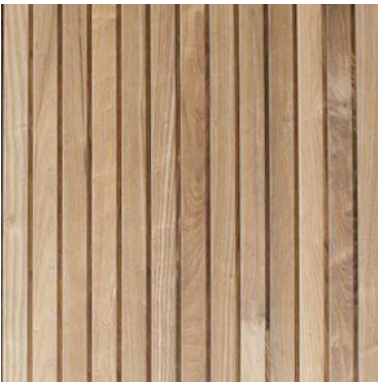


Highlight colours to be used selectively

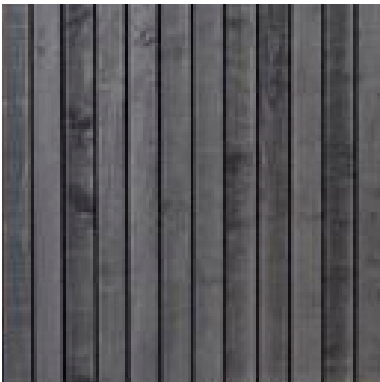


Material palette - lightweight

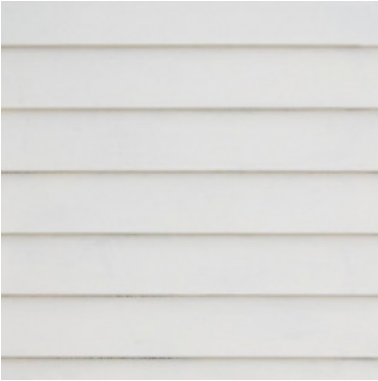
Raw Timber



Stained timber



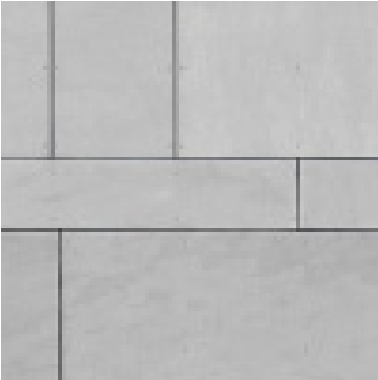
Weatherboards



Corrugated panel



Fiber cement sheeting



Material palette - masonry

Blockwork



Bagged bricks



Render



Brick (Neighbourhood Precinct only)



Natural timber



Merricks Beach House (Kennedy Nolan Architects)

Concrete block and bagged brick used selectively as a feature



Vertical stained timber



MAF Multipurpose Building (Stephenson+Turner Architects)

Painted weatherboard



Sorrento House (NMBW Architecture Studio)

Painted fibre cement sheeting



Sandy Point House (MGS Architects)

4.6 Landscape Principles for Private Lots

Overview

The landscape to the private lots will respond to both the precinct type for each lot, as well as the common area landscape zones. This shall be predominantly determined by the dominant tree species designated in the planting palette. The following guidelines set out principles for the design of the landscape to the private lots within the development. They enable the desired character of Broadbeach Inverloch to be achieved for the overall landscape. They also establish a standard for the materials and arrangement of elements that is in keeping with the vision for the site, within the constraints that exist.

The principles cover hard landscaping (pavements, fences, letter boxes, and lighting etc), as well as soft landscaping (planting, lawns, edging, and mulching to garden beds).

Landscape to private lots must reflect the coastal character of the site as defined and expressed in the landscape common areas.

Private lot landscape zones

The arrangement of landscape zones within each private lot is configured into five distinct zones, namely:

- > Frontage Landscape
- > Entry Landscape
- > Side Landscape
- > Utility Landscape
- > Rear Landscape

Streetscapes

Where trees cannot be provided in the street frontages within the public realm (for example, due to widened crossovers), trees must be provided in the frontage landscape of private lots except in the Neighbourhood precinct where space may not permit.

Frontage landscape

Fences are not permitted within the Frontage Landscape zones.

Coastal Precinct



Coast Banksia (*Banksia integrifolia*)

Tea Tree Precinct



Drooping Sheoak (*Allocasuarina verticillata*)

Neighbourhood Precinct

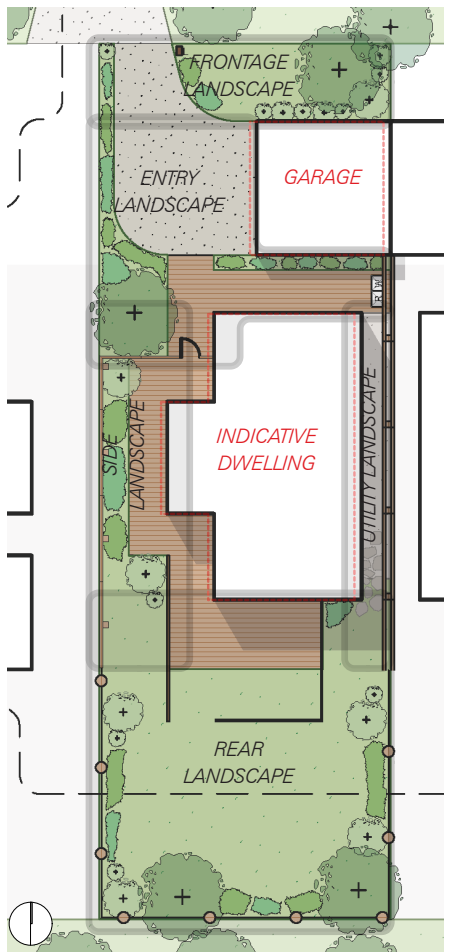


Gippland Mallee (*Eucalyptus kitsoniana*)

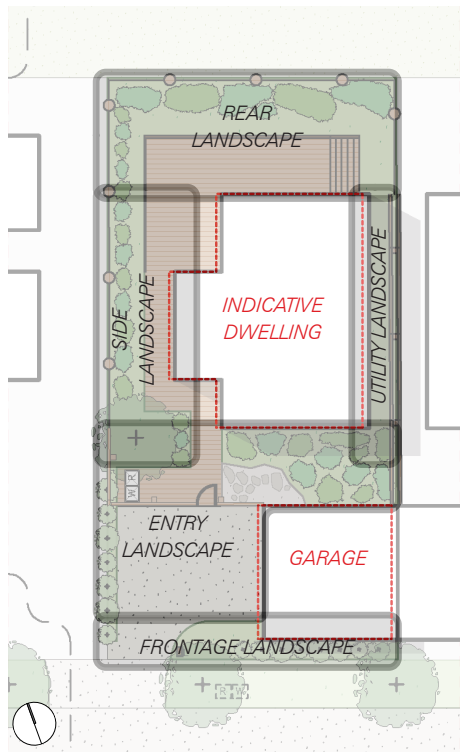
Wetland Precinct



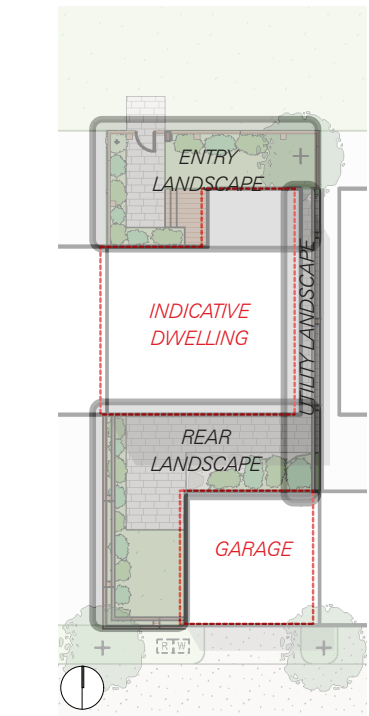
Swamp Paper Bark (*Melaleuca ericifolia*)



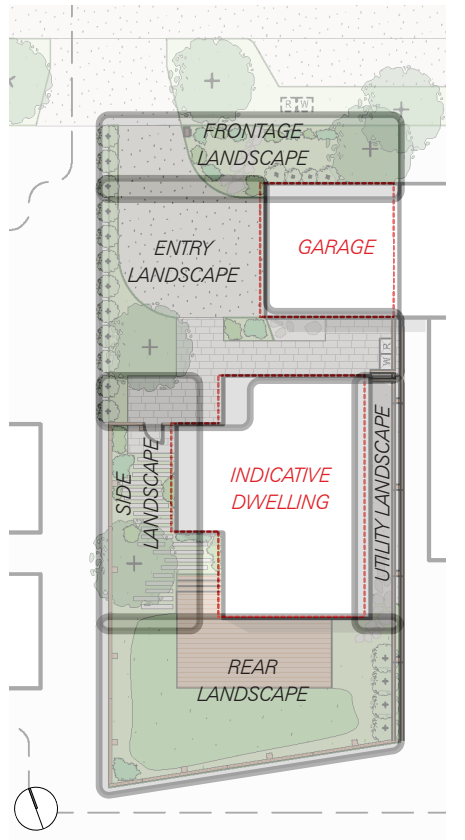
Landscape Zoning - Coastal Precinct



Landscape Zoning - Tea Tree Precinct



Landscape Zoning - Neighbourhood Precinct



Landscape Zoning - Wetland Precinct

4.7 Planting

A planting palette is provided for each of the precincts which draws on the local indigenous species most tolerant of the site conditions of sandy soils, and moisture availability across the year.

The planting palette is precinct specific. Plant species have been taken from the approved list of indigenous coastal species derived from the ecological vegetation communities that would have been present at the site prior to European settlement and clearing.

All landscaping is subject to the requirements of the Bushfire Management Plan endorsed under Planning Permit No. 160229.



Allocasuarina verticillata



Banksia integrifolia



Eucalyptus kitsoniana



Eucalyptus viminalis



Bursaria spinosa



Correa alba



Kunzea ericoides



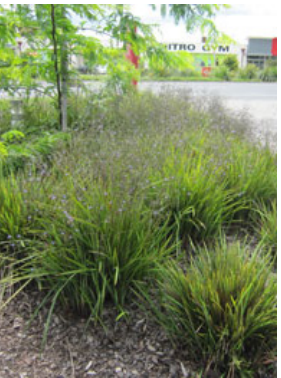
Myoporum insulare



Austrostipa stipoides



Carpobrotus rossii



Dianella revoluta



Diplarrena moraea



Disphyma crassifolium



Ficinia nodosa



Lomandra longifolia



Myoporum parvifolium



Poa poiformis



Rhagodia candolleana ssp. *Candolleana*



Tetragonia implexicoma

Planting List

The following tables lists the code, botanical name, common name and mature size of the plant species that will be feature in the development.

Form	Botancial Name	Common Name	Mature Height (m)	Mature Width (m)	Soil Type	Suitable for:				Notes
						Coastal Precinct	Tea Tree Precinct	Neighbourhood Precinct	Wetland Precinct	
Large Tree	Eucalyptus viminalis subsp. Pryoriana	Gippsland Manna Gum	8-16	5-12	Sandy soils					Should be limited to Common Area planting
Medium Tree	Allocasuarina littoralis	Black She-oak	4-8	2-May	Most, well drained	Y			Y	
Medium Tree	Allocasuarina verticillata	Drooping She-oak	4-11	3-6	Most, well drained	Y	Y			
Medium Tree	Banksia integrifolia	Coast Banksia	4-10	5-10	Most, well drained	Y	Y	Y		Widespread species, smaller forms occasionally available
Medium Tree	Eucalyptus kitsoniana	Gippsland Mallee	5 - 10	4-6	Most, will tolerate wet soil	Y			Y	
Small Tree	Banksia marginata	Silver Banksia	1-6	1 -4	Sandy Soil	Y	Y			
Small Tree	Bursaria spinosa	Sweet Bursaria	2-6	2-3	Most, will tolerate wet soil	Y	Y		Y	Butterfly habitat, very thorny, Fire Retardant
Small Tree	Dodonaea viscosa	Sticky Hop Bush	2-5	2-3	Most, will tolerate wet soil	Y	Y		Y	
Small Tree	Kunzea leptospermoides (was K. ericoides)	Yarra Burgan	2 - 5	2-4	Most, will tolerate wet soil	Y		Y	Y	
Small Tree	Melaleuca ericifolia	Swamp Paperbark	4-9	2-6	Wet Soils				Y	Plant will sucker once it reaches 2.5m tall
Small Tree	Myoporum insulare	Common Boobialla	1-6	2-4	Most, well drained	Y	Y		Y	Fire resistant
Small Tree	Viminaria juncea	Golden Spray	1.5-5	1-2.5	Most, will tolerate wet soil				Y	
Shrub	Atriplex cinerea	Coastal / Grey Salt Bush	1-2	2-3	Most, well drained	Y	Y	Y		Fire resistant. Sprawling habit
Shrub	Correa alba	White / Coastal Correa	0.5-2	1-3	Most, well drained	Y	Y	Y		Widespread species, many forms available
Shrub	Correa reflexa	Common Correa	0.3-2	1-2	Most, well drained	Y	Y	Y	Y	Widespread species, many forms available
Shrub	Goodenia ovata	Hop Goodenia	1-2.5	1-3	Most, prefers some moisture	Y		Y	Y	Widespread species, many forms available
Shrub	Leucopogon parviflorus	Coast Beard heath	2-4	2-3	Sandy soils	Y	Y	Y		
Shrub	Olearia ramulosa	Twiggy Daisy Bush	0.5-2	0.5-1	Most, prefers some moisture	Y		Y	Y	
Shrub	Rhagodia candolleana	Seaberry Saltbush	1-4	1-2.5	Sandy soils	Y	Y	Y		Fire resistant. Taller plants will need support.
Ground Cover	Carpobrotus rossii	Karkalla / Pigface	Prostrate	2-3	Most, well drained	Y	Y	Y	Y	Fire resistant
Ground Cover	Chrysocephalum apiculatum	Yellow Buttons	0.15-0.4	1-Feb	Most	Y	Y	Y	Y	Widespread species, many forms available
Ground Cover	Dichondra repens	Kidney Weed	Prostrate	1 -2	Most, prefers some moisture	Y	Y	Y	Y	Lawn alternative, Fire retardant
Ground Cover	Disphyma crassifolium	Rounded Noon Flower	Prostrate	1-2	Sandy soils	Y	Y	Y		Very good soil binder, Fire resistant
Ground Cover	Hibbertia sericea	Silky Guinea Flower	0.2-0.7	0.3-0.6	Sandy Soils	Y	Y	Y		Locally common species, can be hard to source
Ground Cover	Muehlenbeckia adpressa	Climbing Lignum	Prostrate	3-4	Sandy soils	Y	Y	Y		Locally common species, can be hard to source. Will climb with support
Ground Cover	Myoporum parvifolium	Creeping boobialla	Prostrate	2-4	Most, well drained	Y	Y	Y	Y	Widespread species, many forms available. Fire resistant
Ground Cover	Tetragonia implexicoma	Bower Spinach	0.1 - 1	2-5	Sandy soils	Y	Y	Y	Y	Will climb with support
Ground Cover	Tetragonia tetragonoides	Warrigal Greens	Prostrate	1-1.5	Sandy soils	Y	Y	Y	Y	
Ground Cover	Viola hederacea	Native Violet	0.2	1 -2	Most, prefers some moisture	Y	Y	Y	Y	Lawn alternative for shady areas, Fire retardant
Grass / Lily	Austrostipa stipodies	Coastal Spear Grass	0.5-0.8	-	Most, well drained	Y	Y	Y	Y	
Grass / Lily	Dianella revoluta	Spreading Flax Lily	0.4-1	1-2	Most, well drained	Y	Y	Y		Fire retardant. Widespread species, many forms available
Grass / Lily	Diplarrena moraea	Butterfly Flag	0.3-1	0.5-1	Sandy soils	Y	Y	Y		
Grass / Lily	Ficinia nodosa	Knobby Club Rush	0.5-1	0.4-0.8	Most, will tolerate wet soil	Y		Y	Y	
Grass / Lily	Lomandra longifolia	Spiny Mat Rush	0.5-1	0.5-1.2	Most, will tolerate wet soil	Y	Y	Y	Y	Widespread species, many forms available
Grass / Lily	Poa poiiformis	Coastal Tussock Grass	0.2-1	0.5-1.5	Sandy soils	Y	Y	Y	Y	
Climber	Clematis microphylla	Small Leaf Clematis	2-5	-	Sandy soil, well drained	Y	Y	Y		

References:

Australian Plants Society (Victoria) Inc - Fire Resistant and Fire Retardant Plants (<https://apsvic.org.au/fire-resistant-and-retardant-plants>). Last Accessed 20 April 2023

Bull, M (2014) Flora of Melbourne. 4th Edition. Hyland House Publishing, Melbourne

Royal Botanic Gardens Victoria - VicFlora - Flora of Victoria (<https://vicflora.rbg.vic.gov.au/>). Last Accessed 20 April 2023

Wrigley, JW & Fagg, M (2013) Australian Native Plants: Cultivation, Use in Landscaping & Propagation. Sixth Edition. New Holland Publishers, Sydney

4.8 Soft Landscape Design Principles

Softscape planting palette

Plantings to the private gardens must be informally arranged and incorporate local indigenous species.

There is a preference to use hardy indigenous species which may not require intensive irrigation.

Exotic and native species list as environmental weeds on the Parks Victoria website are not permitted:

<http://parkweb.vic.gov.au/park-management/environment/weeds-and-pests/weeds>

Lawns

Lawns shall be installed over suitable soils allowing free drainage. Species must be warm season, drought tolerant and tolerant of salt spray.

Garden beds

Garden beds must consist of quality approved free draining sandy loam topsoil in meeting AS 4419 Soils for landscaping and garden use.

Mulch to the garden beds shall be coarse-grade Pine bark or recycled hardwood.

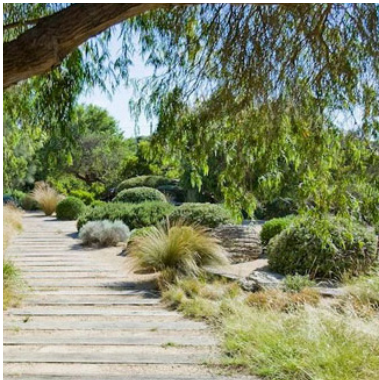
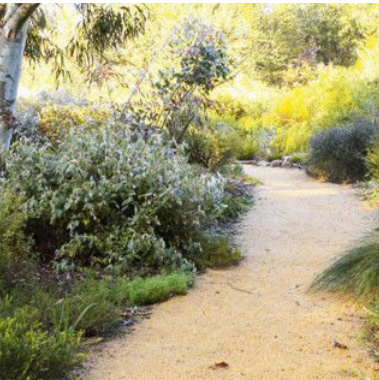
Edging material for garden beds must be robust and durable. Concrete edging is not preferred.

Treated pine, plastic, shall be used rather than steel.

Landform retaining

With respect to lots within the Coastal Precinct where retaining of landform is required, the extensive use of retaining wall is discouraged. Preference is for informal rock retaining embankments with soil pockets for planting. Alternatively, the novel solution of precast concrete pipes with soil infill for planting will be considered if well designed.

Garden beds



Informal rockwork to garden beds



Landform retaining - rockwork



Landform retaining - concrete pipes



4.9 Hard Landscape Design Principles

Hardscape palette

The hardscape materials palette described in the following section should be applied to the precincts as described.

Vehicular pavements (driveways)

The surface of the driveway within each individual lot must be of exposed aggregate with either beige or charcoal colour pigment (to complement the material and colour palette of the dwelling).

Specifications:

- > Cement type - normal grey, off white
- > Colour pigments - charcoal, beige
- > Aggregates (mixed to varying proportions) - whites, beige, brown, light grey, dark grey, black

Pedestrian pavements

Materials for pedestrian pavements on private lots have not been mandated, however preference is for materials indicated for each precinct.

Hard pavements:

- > Sand stone - either sawn or random
- > Bluestone - either flags, sawn or random
- > Granite - sawn
- > Timber sleeper - set into sub base

Note that terracotta and brick pavements are not suitable.

Retaining site permeability is a key landscape requirement. All hard pavements shall be kept to a minimum. As a guide, no more than 30% of the available area shall be covered in hard pavement. If larger areas of private outdoor amenity space are desired, this shall be provided using elevated timber decking.

Granular pavements:

- > Compacted granitic gravel
- > Lilydale toppings
- > Dromana toppings

Vehicular - exposed aggregate insitu concrete pavements

Roads



Existing exposed aggregate

Driveway



Charcoal pigment, mixed aggregate

Driveway



Beige pigment, mixed aggregate

Pedestrian - unit pavements

Coastal Precinct



Sawn sand stone

Tea Tree Precinct



Random sand stone

Neighbourhood Precinct



Sawn granite

Wetland Precinct



Bluestone flags

Granular pavements (pedestrian & boat parking) - All precincts



Compacted granitic gravel



Lilydale toppings



Dromana toppings

Decking

Timber decking should be constructed from Australian hardwood Class 1 or 2 for in ground use, sourced from FSC accredited sustainable managed forests.

Deck boards should be large format (preferably 120 x 35mm). Bearers, joists and posts must be durable to the coastal conditions.

Aluminium or other suitable metal solutions may be necessary in areas subject to bushfire attack.

Letter Boxes

Letter boxes shall be provided at the frontage zone. Where no front fence, these shall be fixed to heavy timber posts and stainless steel.

Letter boxes to low timber batten fences shall be integrated into the fence.

Freestanding steel letter boxes are not preferred due to the potential for corrosion.

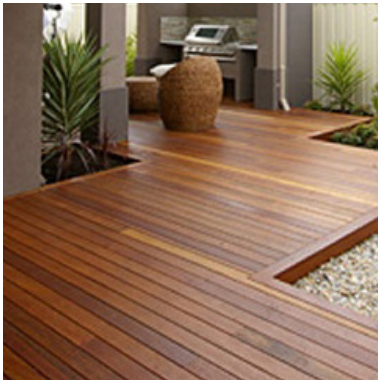
External Lighting

Lighting shall be low-level bollard type rather than pole top mounted.

Heavy-duty timber bollards are preferred.

External lighting may be fitted to the houses provided glare is kept to a minimum.

Decking



Letter boxes



External lighting



4.10 Bush Fire Management

Bushfire Management

Dwellings or other buildings used for accommodation and outbuildings within 10m are to be constructed to either BAL 12.5 or BAL 19 as per the Australian Bushfire Construction Standard AS3959 and in accordance with the endorsed Bushfire Management Plan applying to the site (Version 4 dated 16/10/2017 and the supplementary report (Version 1) dated 01.06.2023 in respect to Lots 131 and 132 (Lot S10 on PS 632968 A).

Any dwellings, other buildings used for accommodation and outbuildings within 10m on Lots 21, 22, 23, 24, 25, 26, 34, 35, 36, 37, 38, 39, 40, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103 and 130 must be built to BAL 12.5 as per AS3939.

Any dwellings, other buildings used for accommodation and outbuildings within 10m on Lots 9, 10, 19, 20, 27, 28, 29, 30, 31, 32, 33, 41, 42, 43, 44, 45, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 131 and 132 must be built to BAL 19 as per AS3939.

Elevations of dwellings or buildings built to BAL 19 not directly facing the fuel hazards can be built to BAL 12.5 if shielded appropriately as per the relevant explanatory drawings in Section 3.5 of AS3959. This excludes Lots 131 & 132 which must be built to BAL 19. No building construction is to occur within the Building Exclusion Zone.

Water supply

Table 4 to Clause 52.47-3 requires the provision of a static water supply for each lot (refer to Appendix 1). Water supply will also need to comply with the requirements of Clause 56 of the planning scheme, and should also comply with including CFA's Requirements for Water Supplies and Access for Subdivisions in Residential Township 1 and 2 and Township Zones 2006 (CFA 2006) – this details the requirements for hydrants.

The proposed lots range in size from less than 500m2 to between 500-1500m2. Those under 500m2 (townhouses and some smaller lots) will require a 2500L water tank to be used for personal firefighting purposes only and the CFA will not require firetruck access or the appropriate fittings in these areas.

Most lots inside the BMO will range from 500-1000m2 and as fire hydrant access will be provided a 5000L water tank to be used for personal firefighting purposes only and no CFA firetruck access or fittings are required.

Lots over 1,000m2 will require 10,000L tanks, CFA access and fittings.

4.11 Fencing

There are a range of fence types that each serve a specific function. There must be no fences provided within the frontage landscapes of the Coastal, Wetland and Tea Tree Precincts so that the continuity of the streetscape can be preserved.

Timber batten fence

Low timber batten fences should be provided to the fronts of the Neighbourhood lots. These fences are low in height (1.2m maximum), and are provided to the fronts of the lots.

Contemporary screen fences or brush screen fences

Where required, Contemporary screen fences or brush screen fences shall be provided to the sides of the lots to screen views between habitable outdoor spaces. These 2.0m fences are to be provided to the side lots where screening is required between habitable spaces. Where screening is not required, low timber batten fences are preferred.

Post and rail fence with wire infill

The rear of the lots abutting the wetlands shall have post and rail fences with a wire mesh infill. These 1.2m high fences shall be located to the southern lots of the Coastal Precinct along the Southern Wetland, and the northern boundary along the area of the Tea Tree Precinct adjacent to the Saltmarsh area.

Southern boundary fence

This 2.1m high fence forms the separation between the development and the camping area. This fencing is along the southern boundary and shall be a 2.1m high black chain mesh fence similar to that around the tennis courts.



Coastal and Tea Tree lots to have no front fences



Timber batten fence



Contemporary screen fence



Brush screen fence



Post and rail fence with wire infill



Southern boundary fence



Existing post and wire fence



5.0 DESIGN GUIDELINES - PRECINCTS

5.1 Precinct 01: Wetland

The Wetland Precinct is located to the north of the site, adjacent to the wetlands. The precinct will feature low-density single and double storey, detached dwellings with private open space surrounding the house. All of the sites will have views across the existing wetland water body.

Key principles:

- 1. Shared driveway access for vehicles
All lots with vehicle access from the street will have crossovers identified on the Master Plan. The crossovers will be shared with the adjoining lot to maximise opportunities for street planting and visitor parking.
- 2. Landscape buffer to street
The street interface must emphasise a coastal landscape character with all built form to be visually recessive when viewed from the street.
- 3. Transparent rear fence to wetland edge
At the rear of the lots adjacent to the northern wetlands or salt marsh the landscape treatment and rear fences should provide a sensitive transition with a visually permeable treatment to the wetland area.
- 4. Outdoor terrace
The primary outdoor space for each dwelling should be located adjacent to the internal living area. Where this is elevated above ground level, the primary outdoor space should be provided in an adjacent deck or terrace. The wetland or saltmarsh landscape may extend below the terrace in places, however the structure must be contained within the lot boundaries with sufficient setback to allow for maintenance access without interfering with any protected common areas.



Wetland Precinct landscape principles

The lots in the Wetland Precinct abut the northern wetland and adjacent Salt Marsh Conservation Zone. The topography of the land slopes towards the northern wetland and Little Screw Creek, with the roads and driveway constructed on fill. As they back onto the Saltmarsh Conservation Zone any rear landscape must be provided on elevated decking.

The ground level planting to the rear landscape within the lots must be sensitive to the significant vegetation of the Saltmarsh and must not compromise its viability. The use of fertilisers or lawns is prohibited.

- 1 Locate additional trees within private lot when street trees are not present. Plant understory with low indigenous species. No fences. Bins stored in garages and left on nature strip.
- 2 Driveways must be insitu concrete exposed aggregate (beige or charcoal pigment).
- 3 Opportunity for entry via elevated deck due to slope of topography.
- 4 Opportunity for courtyard to side of landscape.
- 5 Opportunity for utilities to be on localised plinths.
- 6 Opportunity for elevated deck to rear.
- 7 Low informal ephemeral wetland planting to rear. No lawns.



Indicative private landscape layouts - Wetland

Materiality and architectural qualities

Dwellings in this precinct will have a lightweight and airy quality, predominately elevated on piles. Timber finishes will predominate, with masonry only considered for the garages.

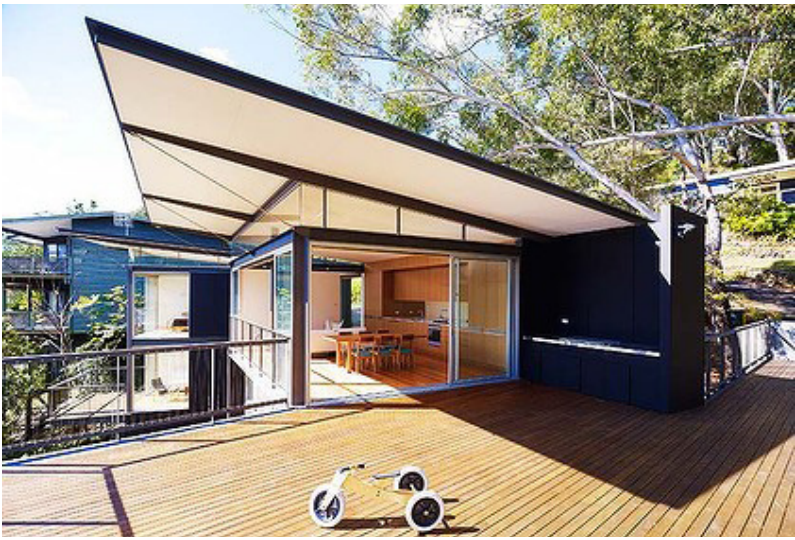
Sorrento House (NMBW Architecture Studio)



T Space (Steven Holl Architects)



Marysville Residence (Mod House)



Avoca House (Eva-Marie Prineas)

Wetland lot typologies

There are six lot typologies in the Wetlands Precinct (refer to plan on pg 25). All properties have their vehicular and pedestrian access from the front towards the street, with the wetlands to the rear.

Wetland 1

Four properties (lots 9 - 10 and 19 - 20), which are located between existing dwellings, have long, narrow sites with the dwelling set toward the rear of the lot near to the wetland.

Wetland 2

Lots 27 - 30 are long sites, with the dwelling setback 4m from the street frontage.

Wetland 3

Lots 31 - 33 and 41 are smaller sites that have a more direct relationship to the street frontage. These lots form Wetland 3 typology.

Wetland 4

The rear setback of lots 34 - 40 is determined by the building exclusion zone.

Wetland 5

Lot 42 falls within the building exclusion zone, which determines the east side setback.

Wetland 6

Two large lots with a reduced dwelling height limit

SETBACK **	WETLAND 1 TYP.	WETLAND 2 TYP.	WETLAND 3 TYP.	WETLAND 4 TYP.	WETLAND 5 TYP.	WETLAND 6 TYP.
Front (A)	4m	4m	1m	1m	1m	Varies
Rear (D)	1m	1m	1m	Determined by BEZ*	1m	Determined by BEZ*
Side (B)	0m	3m	3m	3m	3m	4m
Side (C)	1.5m	1.5m	1.5m	1.5m	Determined by BEZ*	4m
Deck only (E)	2m	3m	3m	3m	3m	5m
No. of lots	4	4	4	7	1	2

* Building exclusion zone

** Specific lot setbacks are shown on the Building Envelope Diagrams.

Side setbacks

Generous side setbacks (B) have been set to allow for corridors of native vegetation throughout the site.

Bushfire Management

Seven properties (lots 34 - 40) in Wetland 4 typologies fall within a building exclusion zone, which determines the rear setback of each lot. Lot 42 (Wetland 5 typology) falls with a building exclusion that determines the side setback. Extending built form (building envelope and deck only areas) may be subject to relevant regulations of that zone and Bushfire Attack Levels (BAL).

5.2 Precinct 02: Neighbourhood

The Neighbourhood Precinct is located to the north-west of the site, surrounding the existing community hub. This precinct enjoys the benefits of having the restaurant, gym, pool and tennis court all within easy walking distance. This precinct will feature double-storey, semi-attached and attached dwellings that will add to the vibrancy of the core.

Key principles:

- 1. Attached or semi-detached dwellings
The built form character for dwellings in this precinct favours more compact dwellings arranged as a series of joined townhouses, duplex dwellings or similar. Private open space will be provided in the form of courtyards or terraces.
- 2. Pedestrian entry from the street frontage or pathway/ vehicle entry from rear as shown in the Building Envelope diagrams.
All dwellings must address the street frontage or pathway as the primary location for pedestrian entry, with windows oriented towards the public realm provided particularly at the upper level. Where possible, car parking is to be accessed from the rear laneway. Where this is not possible, the garage door should be located to visually recede from the street front and avoid dominating the full width of the frontage. This will likely require a single car garage with tandem car space rather than double garage.
- 3. Front landscape as an interstitial zone
The front landscape will be a relatively shallow zone between the building line and the street, providing a visual transition between the building and the footpath. A low fence with integrated letterbox is appropriate as a transition here. The side and rear fences may be higher to allow for privacy and amenity.



Neighbourhood Precinct landscape principles

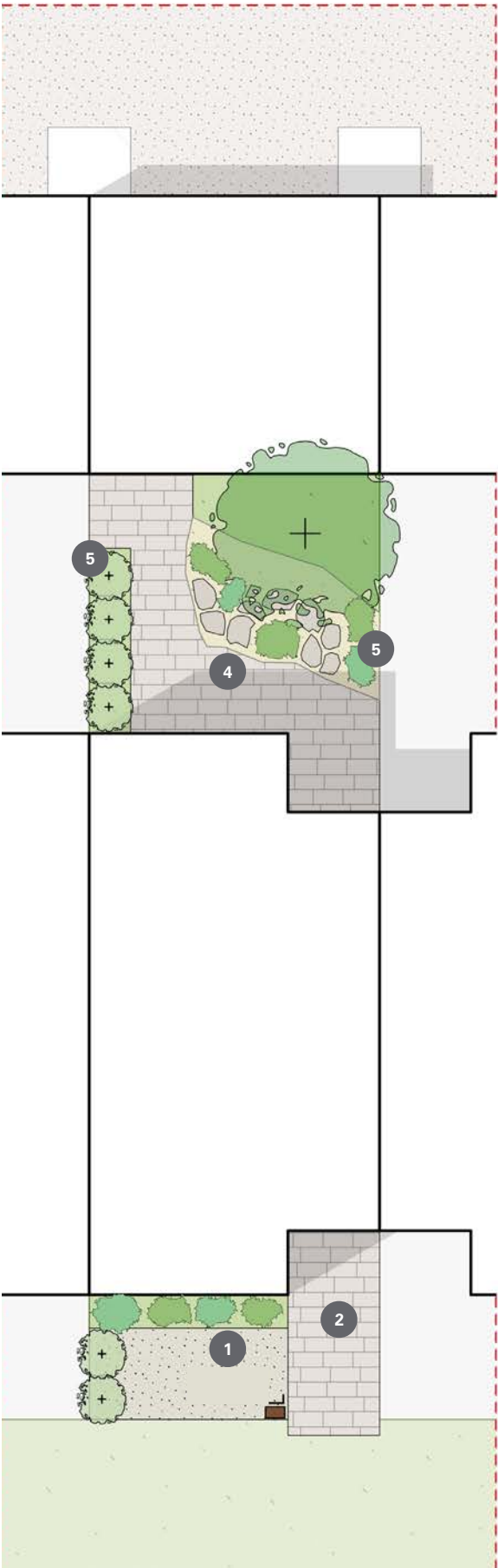
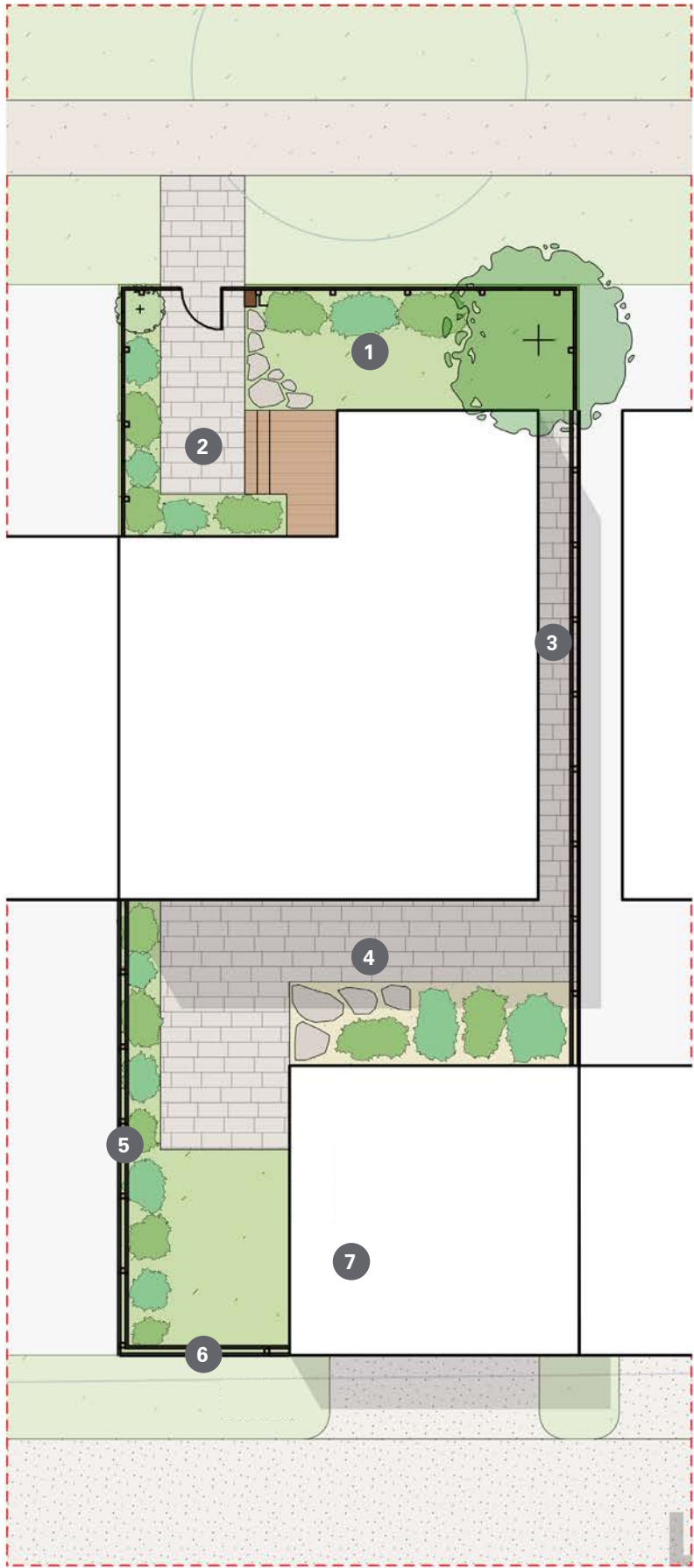
The Neighbourhood Precinct landscape is of a closer density than the others, being situated near the community building, and with smaller lots suiting the townhouse building types.

Accordingly, the landscape to these units will be more urban with small coastal gardens, and a tighter proportion of low fences to define the individual lots right up to the front boundary.

The front gardens link to pedestrian footpaths with low fences and small gardens to create a close community sense of 'neighbourliness'.

The rear gardens back on to the laneways with opportunities for small nature strips planted with hardy, low-maintenance, coastal low-cover species and small trees.

- 1 Opportunity for small coastal cottage garden with low fence and integrated letter box. Small trees encouraged.
- 2 Paved area to entry (exposed aggregate insitu concrete or unit paving).
- 3 Hard or granular pavement to side. Screen fence.
- 4 Opportunity for rear courtyard hard paved with small coastal cottage garden.
- 5 Screen fence.
- 6 Low fence to rear.
- 7 Bins stored in garages and left on nature strip.



Indicative private landscape layouts - Neighbourhood

Materiality and architectural qualities

Dwellings in this precinct will have a vibrant and urban quality, with the front façades of dwellings incorporating semi-private outdoor spaces, defined by canopies and stoops. Both masonry and timber finishes are encouraged.

Hellier Street (Six Degrees)



South Chase (Alison Brooks Architecture)



Fairbairn House (Inglis Architects)



G House (PazGersh Architecture)



South Chase (Alison Brooks Architecture)

Neighbourhood lot typologies

There are four typologies of lots in the Neighbourhood Precinct.

Neighbourhood 1

Lots 21 - 26 have their vehicular access and primary pedestrian access from the front, facing the street.

Neighbourhood 2

Lots 76 - 80 have their primary pedestrian access from the north with a 3m setback. Vehicular access is via the rear lane with a 0m setback.

Neighbourhood 3

Lot 81 may have a north facing or west facing primary pedestrian access point. Vehicular access is via the rear lane with a 0m setback.

Neighbourhood 4

Seven properties (lots 59 - 65) have their primary pedestrian access from the street with a 3m setback. Vehicular access is via the rear laneway with a 0m setback.

Neighbourhood 5

Lots 82 - 88 have their primary pedestrian access from the north with a 2m setback. Vehicular access is via the rear lane with a 0m setback.

SETBACK	NEIGHBOURHOOD 1 TYP.	NEIGHBOURHOOD 2 TYP.	NEIGHBOURHOOD 3 TYP.	NEIGHBOURHOOD 4 TYP.	NEIGHBOURHOOD 5 TYP.
Front (A)	3m	3m	3m	3m	2m
Rear (D)	4m	0m	0m	0m	0m
Side (B)	2m	1.5m	1.5m	1.5m	2m
Side (C)	0m	0m	1.5m	0m	0m
No. of lots	6	5	1	6	7

*Specific lot setbacks are shown on the Building Envelope Diagrams.

Side setbacks

Generous side setbacks have been set to allow for corridors of native vegetation throughout the site.

Garage setback

Throughout the development there is a preference for garages to appear to be visually separated from the main dwelling, to create spatial depth when viewed from the street, and to avoid a typical suburban appearance.

5.3 Precinct 03: Tea Tree

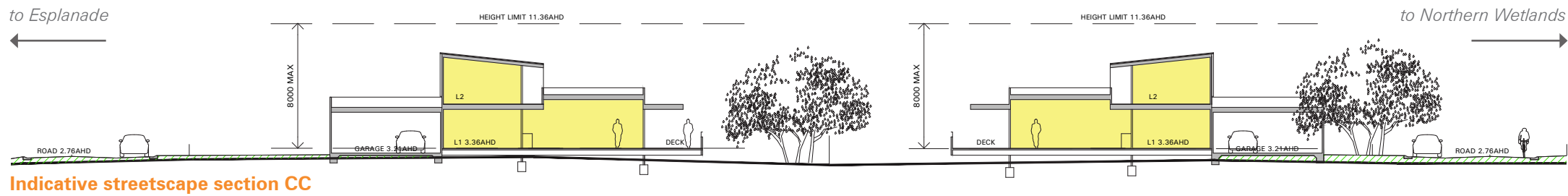
The Tea Tree Precinct is located in a protected location to the east of the site. The precinct will feature low-density single and double-storey, detached dwellings with generous private open space surrounding the house. Generous setbacks to the rear of the site will create a corridor of native vegetation.

Key principles:

- 1. Shared driveway or laneway access for vehicles
All lots with vehicle access from the street will have crossovers identified on the Master Plan. The crossovers will be shared with the adjoining lot to maximise opportunities for street planting and visitor parking. Where the lot is provided with vehicle access from a rear or side laneway, no crossovers from the street are permitted.
- 2. Landscape buffer to street
The street interface should emphasise a coastal landscape character with all built form to be visually recessive when viewed from the street.
- 3. Central landscape corridor
The rear fenceline of each lot is the shared interface between adjoining lots. The rear setback on each side of the fence provides a shared landscape amenity, particularly for canopy trees that grow above the fenceline.



- Tee Tree Precinct
- Building exclusion zone
- Existing building
- Street or rear lane



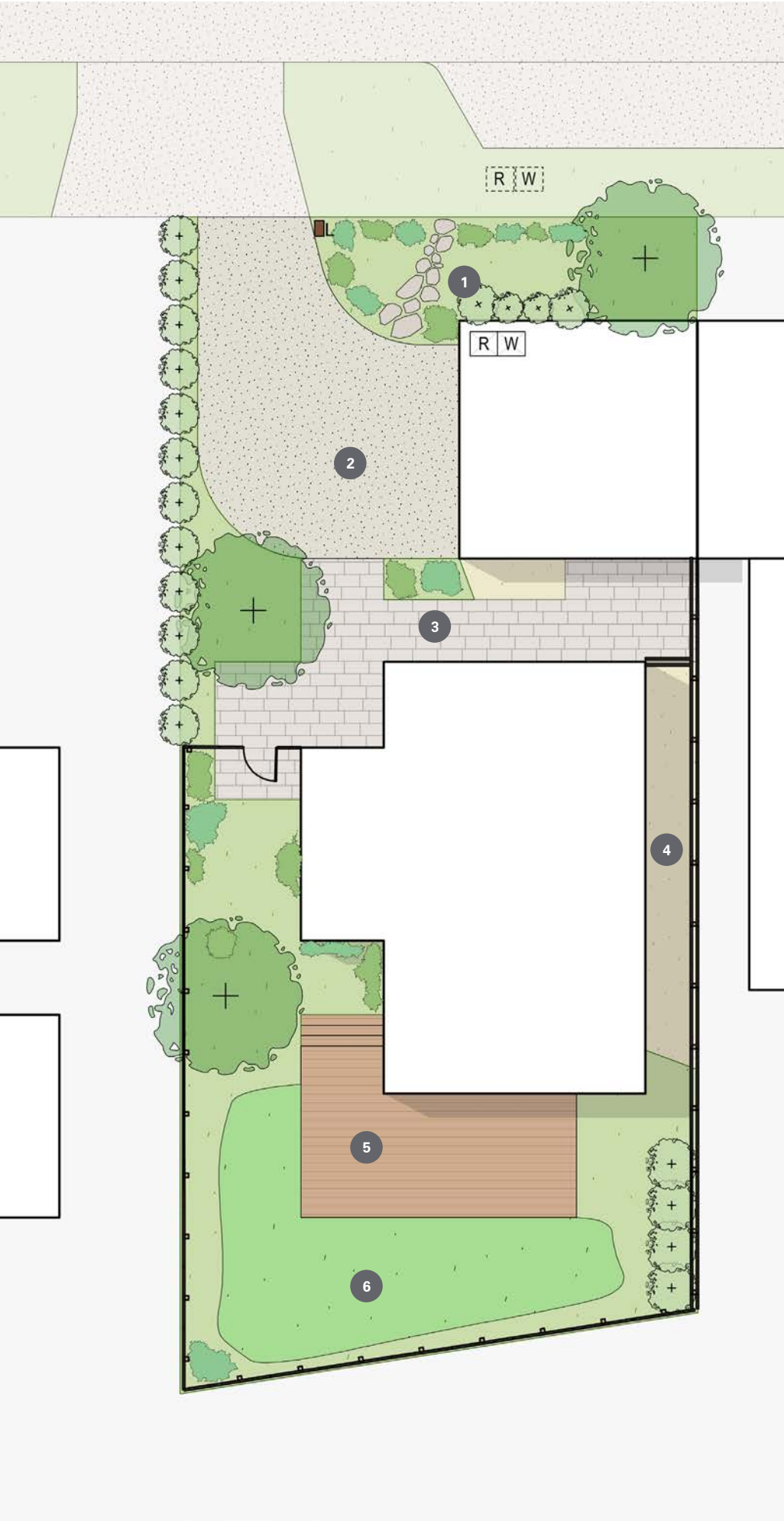
Tea Tree Precinct landscape principles

The Tea Tree Precinct is located directly north of the Dune Conservation zone and gets its character from this vegetation type.

The lots are internal to the ring road and will be constructed on fill, which will allow for more conventional on-grade gardens than is possible within the Coastal Precinct. This includes the possibility for areas of lawn at near to the level of the building finished floor.

Similarly to the Coastal Precinct, fences are not permitted and side fences shall be set back from the front lot boundaries to accentuate the continuity of the streetscape.

- 1 Locate additional trees within private lot when street trees are not present. Plant understory with low indigenous species. No fences. Bins stored in garages and left on nature strip.
- 2 Driveways must be insitu concrete exposed aggregate (beige or charcoal pigment).
- 3 Opportunity for paved area to entry (for example exposed aggregate insitu concrete or unit paving).
- 4 Opportunity for hard or granular pavement for utilities.
- 5 Opportunity for elevated deck (preferred over hard paving).
- 6 Informal coastal indigenous plantings preferred; lawns are permitted.



Indicative private landscape layout - Tea Tree

Materiality and architectural qualities

Dwellings in this precinct will have a more grounded quality, nestled behind native vegetation. Timber finishes will predominate, with masonry only considered for the garages.

MAF Multipurpose Building
(Stephenson+Turner Architects)



Ranco House (Elton+Leniz)



Oban (Agushi & Workroom Design)



Sorrento House (Archiblox)



Hover House (Bower Architecture)

Lot typologies

Most properties have their vehicular and pedestrian access from the front main street, with adjoining properties to the rear.

Tee Tree 1

12 properties (lots 46-57) have a front setback of 3m, with the proposed dwelling set in the middle of the site.

Tee Tree 2

Nine Properties (lots 67-75) fall within a building exclusion zone that determines the front setback of each lot.

Tee Tree 3

Lots 44-45 fall within a building exclusion zone that determines the rear setback of each lot. An alternative rear driveway and garage location is indicated for these lots.

Tee Tree 4

Lot 43 falls within a building exclusion zone that determines the front and side (B) setback of the lot.

Tee Tree 5

Lot 58 garage access is via a side laneway.

Tee Tree 6

Lot 66 falls within a building exclusion zone that determines the front setback of the lot. Garage access is via a side laneway.

SETBACK **	TEE TREE 1 TYP.	TEE TREE 2 TYP.	TEE TREE 3 TYP.	TEE TREE 4 TYP.	TEE TREE 5 TYP.	TEE TREE 6 TYP.
Front (A)	3m	Determined by BEZ*	3m	Determined by BEZ*	3m	Determined by BEZ*
Rear (D)	3m	3m	Determined by BEZ*	3m	3m	3m
Side (B)	3-3.5m	3m	3m	Determined by BEZ*	3m	3m
Deck Only (E)	3m	3m	3m	3m	3m	3m
Side (C)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
No. of lots	12	9	2	1	1	1

* Building exclusion zone

** Specific lot setbacks are shown on the Building Envelope Diagrams.

Side setbacks

Generous side setbacks have been set to allow for corridors of native vegetation throughout the site.

Garage setback

Throughout the development there is a preference for garages to appear to be visually separated from the main dwelling, to create spatial depth when viewed from the street and to avoid a typical suburban appearance.

Bushfire Management Overlay

Currently, all built form existing outside of the Building exclusion zone. However, if deck only areas or buildings fall within the Building exclusion zone they must comply with the relevant regulations of that zone and have the appropriate Bushfire Attack Level (BAL).

5.4 Precinct 04: Coastal

The Coastal Precinct is located to the south of the site closest to the foreshore. The precinct will feature low-density single and double-storey, detached dwellings with generous private open space surrounding the house.

Key principles:

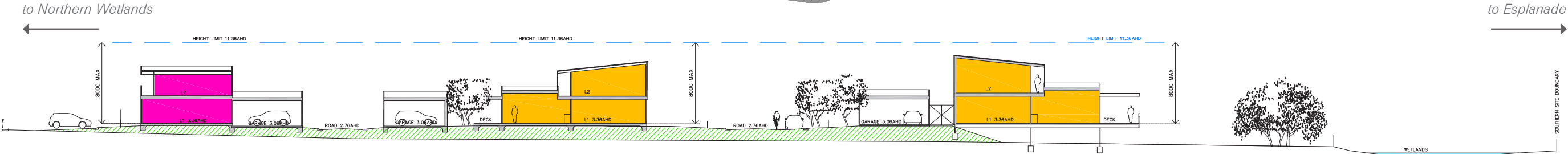
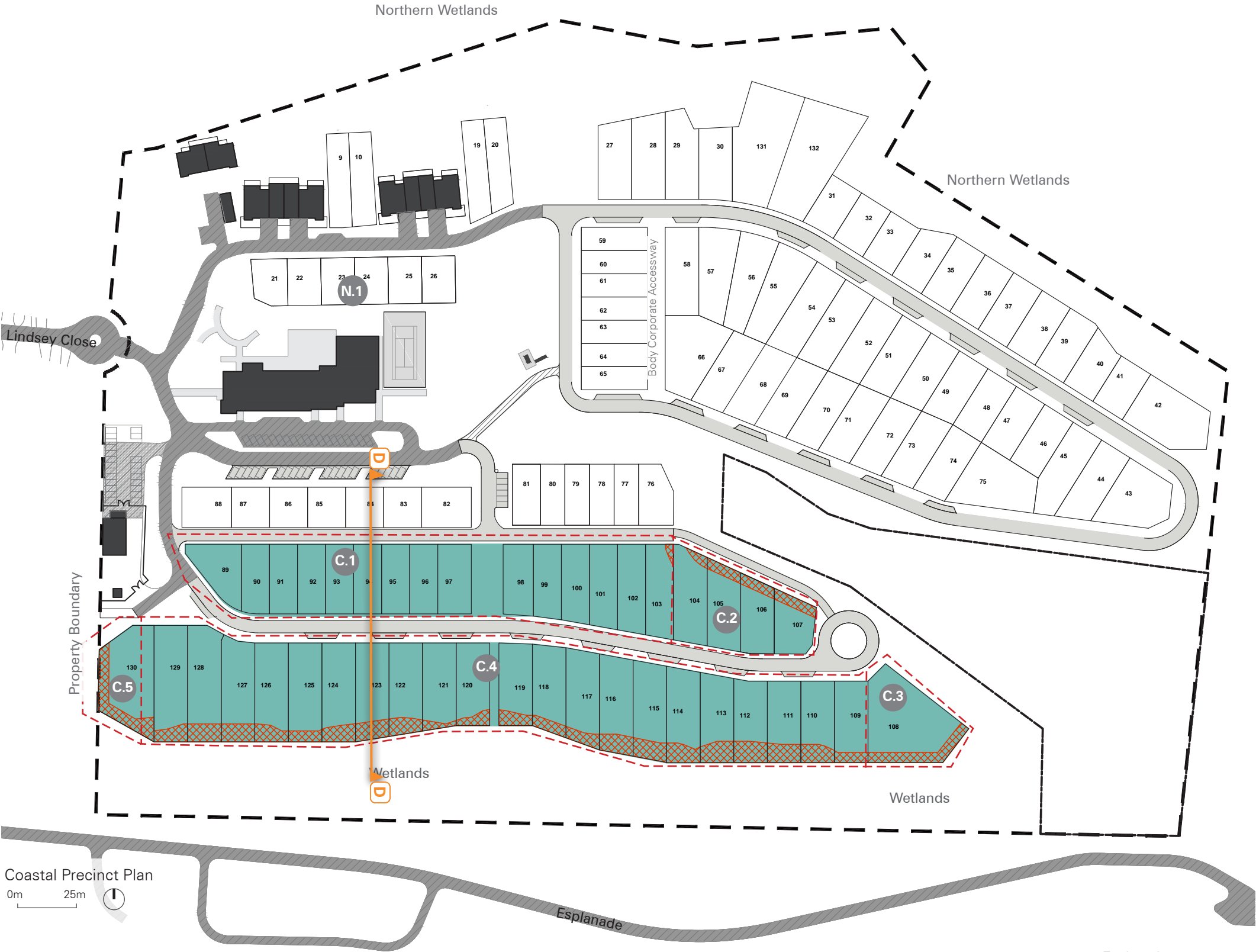
- 1. Shared driveway or laneway access for vehicles
All lots with vehicle access from the street will have crossovers identified on the Master Plan. The crossovers will be shared with the adjoining lot to maximise opportunities for street planting and visitor parking. Where the lot is provided with a rear laneway no crossovers from the street are permitted.
- 2. Landscape buffer to street
The street interface should emphasise a coastal landscape character with all built form to be visually recessive when viewed from the street.
- 3. Transparent rear fence to wetland edge
At the rear of the lots adjacent to the southern wetlands the landscape treatment and rear fences should provide a sensitive transition with a visually permeable treatment to the wetland area.
- 4. Outdoor terrace
The primary outdoor space for each dwelling should be located adjacent to the internal living area. Where this is elevated above ground level the primary outdoor space should be provided in an adjacent deck or terrace.

Coastal Precinct

Building exclusion zone

Existing building

Street or rear lane

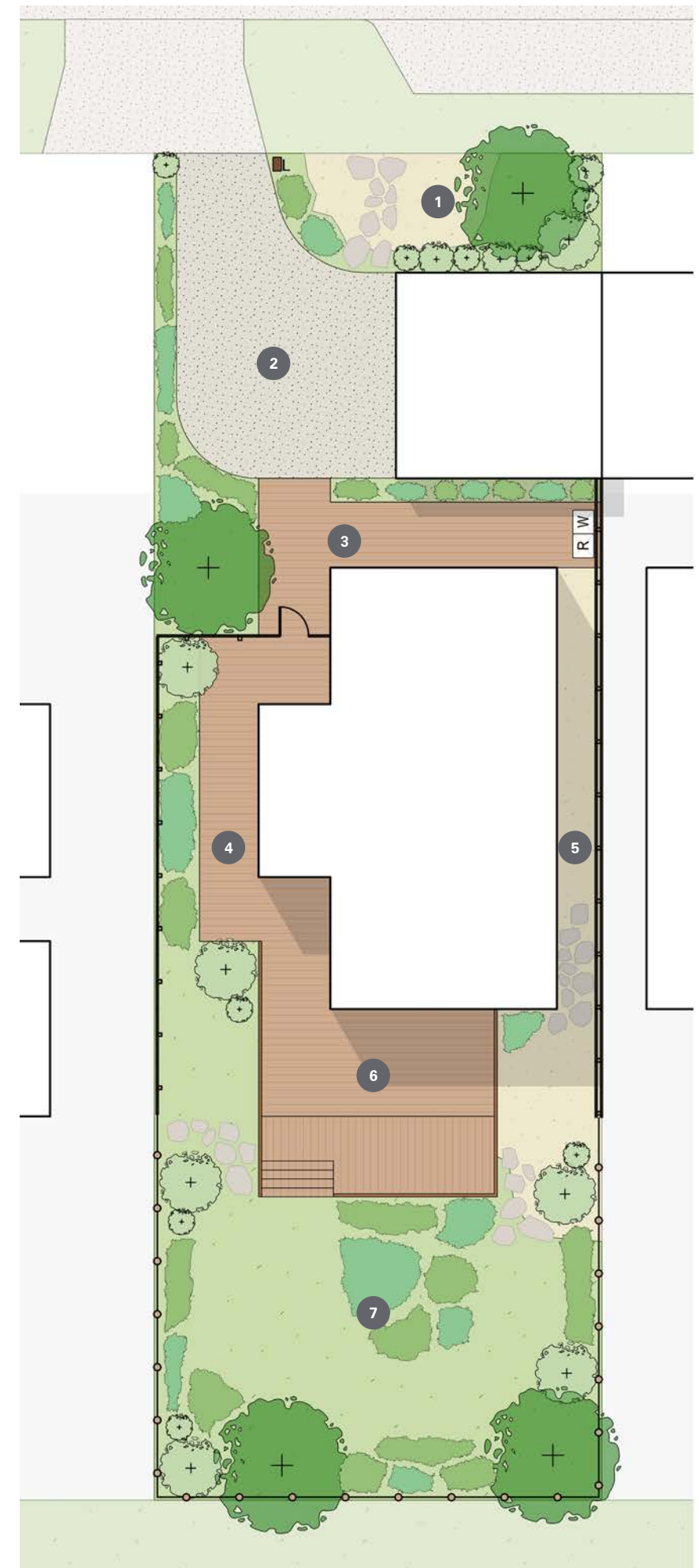


Indicative streetscape section DD

The landscape to the lots within the Coastal Precinct must be responsive to the topography of that part of the site. The land slopes towards the southern wetland, with the road and driveways constructed on fill.

The streetscape along this road is reinforced by plantings to the landscape frontages of each unit, which shall reflect the casual indigenous planting theme. Side fences must be set back from the front lot boundaries to accentuate the continuity of the streetscape.

- 1 Locate additional trees within private lot when street trees are not present. Plant understory with low indigenous species. No fences. Bins stored in garages and left on nature strip.
- 2 Driveways must be insitu concrete exposed aggregate (beige or charcoal pigment).
- 3 In locations where the topography slopes, there is an opportunity for an entry via elevated deck.
In locations where the surface is on-grade, there is an opportunity for a paved area to entry (exposed aggregate insitu concrete or unit paving).
- 4 Opportunity for courtyard to side landscape. Landform retaining may be required.
- 5 Opportunity for hard or granular pavement for utilities.
- 6 Opportunity for elevated deck (preferred over hard paving)
- 7 Informal coastal indigenous plantings. No lawns within 8m of rear boundary where this adjoins the wetland interface.



Indicative private landscape layout - Coastal

Materiality and architectural qualities

Dwellings in this precinct will have a lightweight and airy quality, predominately elevated on screw piles. Timber finishes will predominate, with masonry considered only for the garages.

Highway House (Room 11(



Island Residence (Peter Rose and Partners)



Cloudy Bay (1+2 Architecture)



Little Big House (Room 11)

Lot typologies

The Coastal Precinct is made up of five different lot typologies.

Coastal 1

Lots 89-103 are long sites with the vehicular access from a rear lane. Primary pedestrian access is from the south.

Coastal 2

Four lots (104-107) have a front setback of approximately 4m and the rear setback is determined by a building exclusion zone. Primary pedestrian access is from the south.

Coastal 3

Lot 108 is located on a corner and has a rear interface with the wetlands. The south and southeast setbacks include a building exclusion zone

Coastal 4

Properties 20 (lots 109-129) have a rear interface with the wetlands and have a rear setback that includes a building exclusion zone.

Coastal 5

A single corner property (lot 130) that has a rear interface with the wetlands. The south and west setbacks include a building exclusion zone.

SETBACK	COASTAL 1 TYP.	COASTAL 2 TYP.	COASTAL 3 TYP.	COASTAL 4 TYP.	COASTAL 5 TYP.
Front (A)	4m	4m (Approx)	5m	4m	4m
Rear (D)	0m	Determined by BEZ*	Determined by BEZ*	Determined by BEZ*	Determined by BEZ*
Side (B)	3m	3m	3m	3m	3m
Deck Only (E)	2m	2m	4m	4m	4m
Side (C)	1.5m	1.5m	5.0m	1.5m	Determined by BEZ*
No. of lots	15	4	1	20	1

* Building exclusion zone

** Specific lot setbacks are shown on the Building Envelope Diagrams.

Side setbacks

Generous side setbacks have been set to allow for corridors of native vegetation throughout the site.

Garage setback

Throughout the development there is a preference for garages to appear to be visually separated from the main dwelling, to create spatial depth when viewed from the street and to avoid a typical suburban appearance.

Deck only area

The deck only area is introduced to discourage buildings to be constructed close to property boundaries, increasing view corridors. Only deck and lightweight shade structures may be constructed in this area.

Bushfire Management Overlay

Deck or buildings within the Bushfire Management Overlay must comply with the relevant regulations of that zone.

